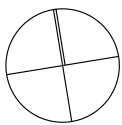


PO Box 601 Kolaria
NSW 2289 Ph 49524425
Nominated Architect: Daniel Hadley 8209
Notes
The information contained in the document is copyright and may not be used or reproduced for any other project or purpose.
Verify all dimensions and levels on site and report any discrepancies prior to the commencement of work and any ordering of materials.
Drawings are to be read in conjunction with all contract documents.
Use figured dimensions only. Do not scale from drawings.
ELK Designs cannot guarantee the accuracy of content and format for copies of drawings issued electronically.
The completion of the issue details checked and authorised section below is conformation of the status of the drawing. The drawing shall not be used for construction unless endorsed "For Construction" and authorised for issue.



Consultants

Surveyor
BEREZA SURVEYING
p: (02) 62281038
e: info@bcsurveys.com.au

Town Planner
Le Mottee Group
p: 49871748
e: reception@lemottee.com

Civil Engineer
Le Mottee Group
p: 49871748
e: reception@lemottee.com

Energy Assessor
Building sustainability Assessments
p: 02 4623439
e: enquiries@buildingsustainability.net.au

Structural Engineer

Hydraulic Engineer

Landscape Consultant
JK's Gardencreations
p: 0412582966
e: gardenflora704@gmail.com

Issue	Description	Date
P6	Consultant Issue	20/06/2022
P7	Consultant Issue	18/07/2022
B	Revised Development Application	30/08/2022
P8	Issue to Consultant	22/02/2023
C	Revised Development Application	22/02/2023
D	Revised Development Application	13/04/2023
P9	Issue To Consultant	1/08/2023
E	DEVELOPMENT APPLICATION	23/08/2023

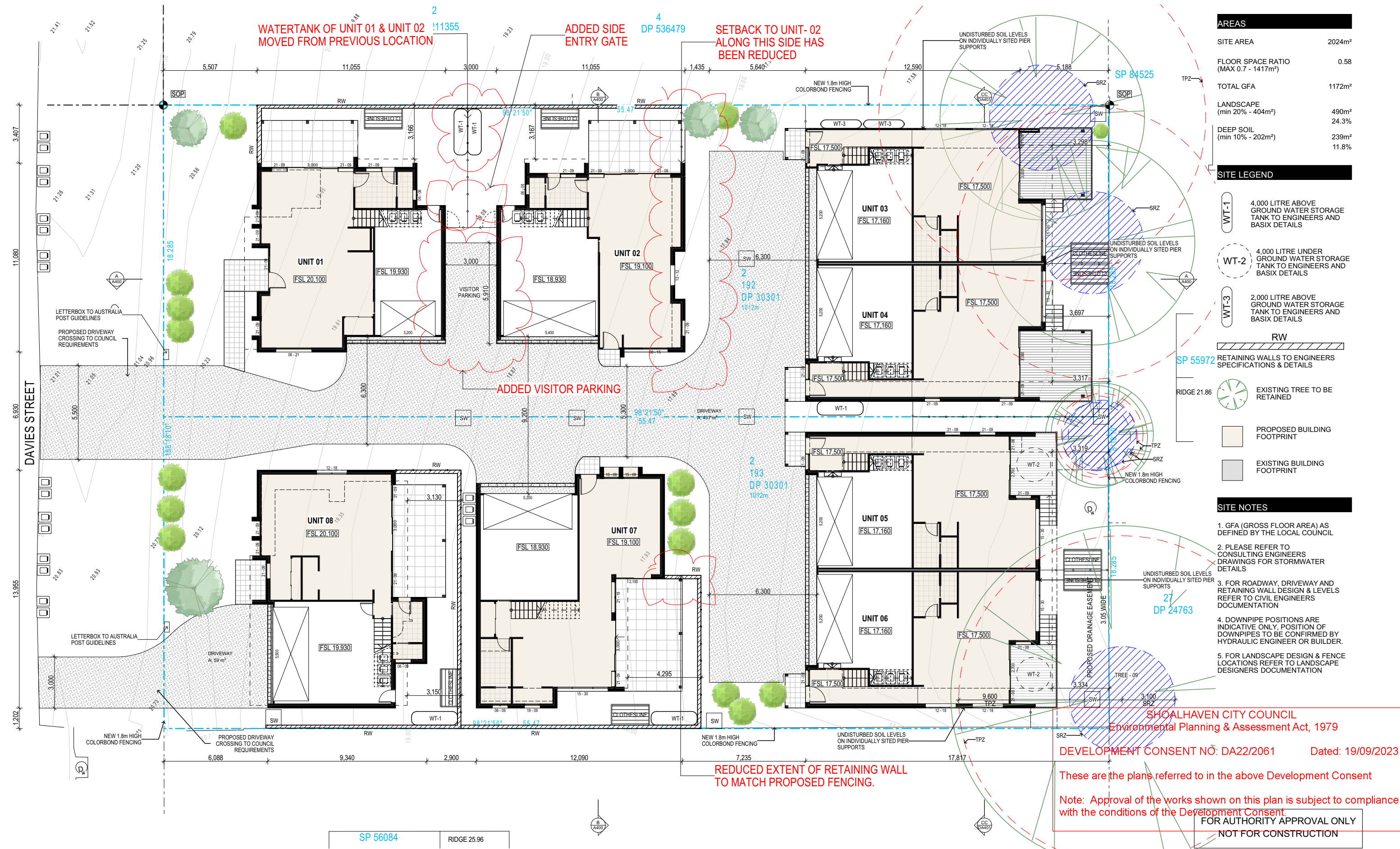
Project
Multiple Dwelling Housing
Location
**8 -10 Davies Street
Mollymook**
Client
The Trustee for JFIG013 Unit Trust

Drawing
DEMOLITION PLAN
Scale
1:200 @ A3
DRAWN
JG/MS

QA CHECKED
SV

Drawing Number
DA020
Issue
E
Project Number
21165





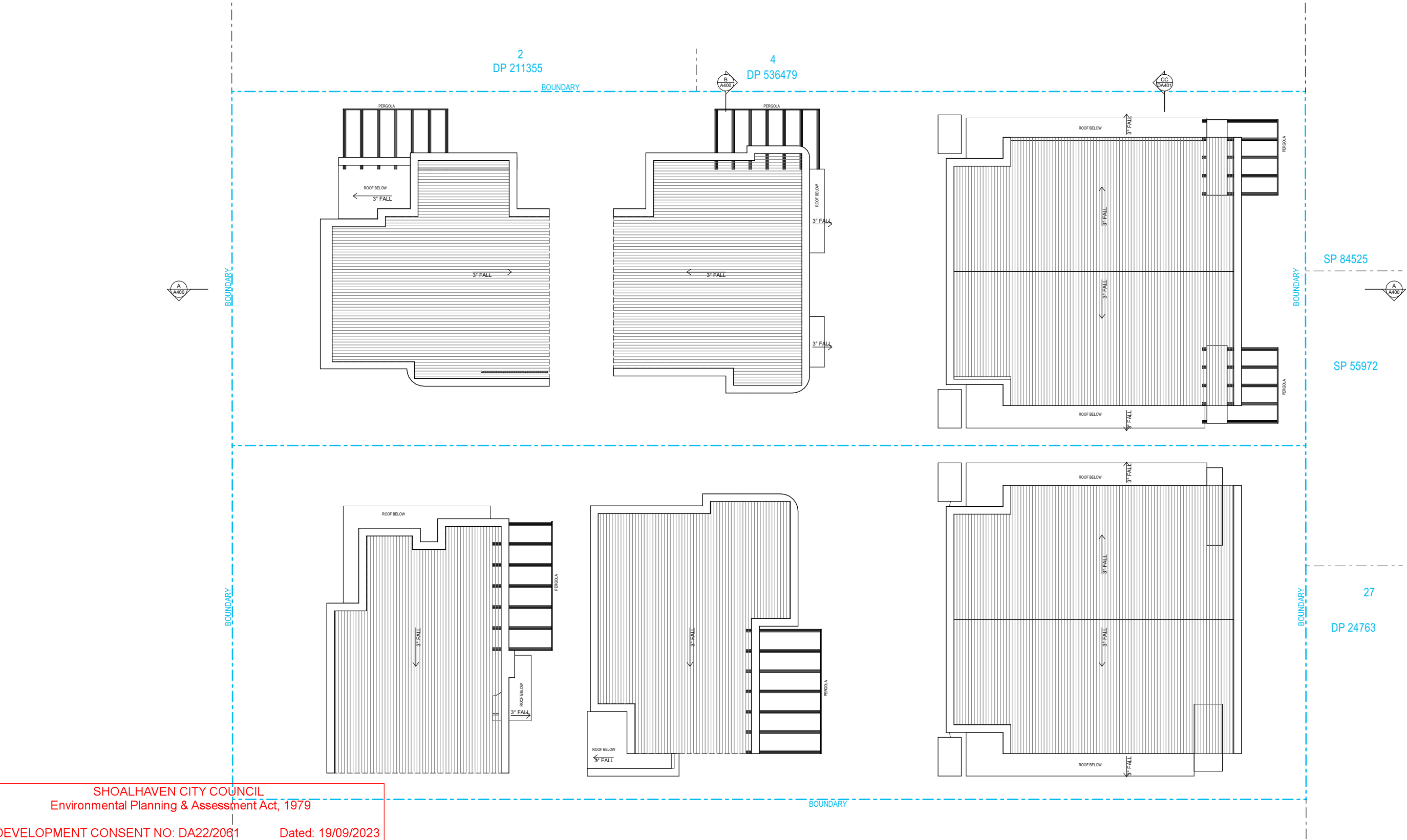
AREAS	
SITE AREA	2024m ²
FLOOR SPACE RATIO (MAX 0.7 - 1417m ²)	0.58
TOTAL GFA	1172m ²
LANDSCAPE (min 20% - 404m ²)	490m ²
DEEP SOIL (min 10% - 202m ²)	239m ²
	24.3%
	11.8%

SITE LEGEND	
WT-1	4,000 LITRE ABOVE GROUND WATER STORAGE TANK TO ENGINEERS AND BASIX DETAILS
WT-2	4,000 LITRE UNDER GROUND WATER STORAGE TANK TO ENGINEERS AND BASIX DETAILS
WT-3	2,000 LITRE ABOVE GROUND WATER STORAGE TANK TO ENGINEERS AND BASIX DETAILS
RW	RETAINING WALLS TO ENGINEERS SPECIFICATIONS & DETAILS
EXISTING TREE TO BE RETAINED	
PROPOSED BUILDING FOOTPRINT	
EXISTING BUILDING FOOTPRINT	

- SITE NOTES**
1. GFA (GROSS FLOOR AREA) AS DEFINED BY THE LOCAL COUNCIL
 2. PLEASE REFER TO CONSULTING ENGINEERS DRAWINGS FOR STORMWATER DETAILS
 3. FOR ROADWAY, DRIVEWAY AND RETAINING WALL DESIGN & LEVELS REFER TO CIVIL ENGINEERS DOCUMENTATION
 4. DOWNPIPE POSITIONS ARE INDICATIVE ONLY, POSITION OF DOWNPIPES TO BE CONFIRMED BY HYDRAULIC ENGINEER OR BUILDER.
 5. FOR LANDSCAPE DESIGN & FENCE LOCATIONS REFER TO LANDSCAPE DESIGNERS DOCUMENTATION

SHOALHAVEN CITY COUNCIL
Environmental Planning & Assessment Act, 1979
DEVELOPMENT CONSENT NO: DA22/2061 Dated: 19/09/2023
These are the plans referred to in the above Development Consent
Note: Approval of the works shown on this plan is subject to compliance with the conditions of the Development Consent
FOR AUTHORITY APPROVAL ONLY
NOT FOR CONSTRUCTION

<div>PO Box 601 Kotara NSW 2289 Ph 49524425 Nominated Architect: Daniel Hadley 8209</div> <div>Notes The information contained in the document is copyright and may not be used or reproduced for any other project or purpose. Verify all dimensions and levels on site and report any discrepancies prior to the commencement of work and any ordering of materials. Drawings are to be read in conjunction with all contract documents. Use figured dimensions only. Do not scale from drawings. ELK Designs cannot guarantee the accuracy of content and format for copies of drawings issued electronically. The completion of the issue details checked and authorised section below is conformation of the status of the drawing. The drawing shall not be used for construction unless endorsed "For Construction" and authorised for issue.</div>		<div></div>		<div>Consultants</div> <div>Surveyor BEREZA SURVEYING p: (02) 62281038 e: info@bcsurveys.com.au</div> <div>Town Planner Le Mottee Group p: 49871748 e: reception@lemottee.com</div>		<div>Civil Engineer Le Mottee Group p: 49871748 e: reception@lemottee.com</div> <div>Energy Assessor Building sustainability Assessments p: 02 4623439 e: enquiries@buildingsustainability.net.au</div>		<div>Structural Engineer</div> <div>Hydraulic Engineer</div>		<div>Landscape Consultant JK's Gardencreations p: 0412582966 e: gardenflora704@gmail.com</div>		<table><tr><th>Issue</th><th>Description</th><th>Date</th></tr><tr><td>B</td><td>Revised Development Application</td><td>30/08/2022</td></tr><tr><td>P8</td><td>Issue to Consultant</td><td>22/02/2023</td></tr><tr><td>C</td><td>Revised Development Application</td><td>22/02/2023</td></tr><tr><td>D</td><td>Revised Development Application</td><td>23/02/2023</td></tr><tr><td>E</td><td>Revised Development Application</td><td>31/03/2023</td></tr><tr><td>F</td><td>Revised Development Application</td><td>13/04/2023</td></tr><tr><td>P9</td><td>Issue To Consultant</td><td>1/08/2023</td></tr><tr><td>G</td><td>DEVELOPMENT APPLICATION</td><td>23/08/2023</td></tr></table>		Issue	Description	Date	B	Revised Development Application	30/08/2022	P8	Issue to Consultant	22/02/2023	C	Revised Development Application	22/02/2023	D	Revised Development Application	23/02/2023	E	Revised Development Application	31/03/2023	F	Revised Development Application	13/04/2023	P9	Issue To Consultant	1/08/2023	G	DEVELOPMENT APPLICATION	23/08/2023	<div>Project Multiple Dwelling Housing</div> <div>Location 8 -10 Davies Street Mollymook</div> <div>Client The Trustee for JFIG013 Unit Trust</div>		<div>Drawing SITE PLAN</div> <div>Scale 1:200, 1:1 @ A3</div> <div>DRAWN JG/MS</div> <div>QA CHECKED SV</div>		<div>Drawing Number DA030</div> <div>Issue G</div> <div>Project Number 21165</div> <div></div>	
Issue	Description	Date																																												
B	Revised Development Application	30/08/2022																																												
P8	Issue to Consultant	22/02/2023																																												
C	Revised Development Application	22/02/2023																																												
D	Revised Development Application	23/02/2023																																												
E	Revised Development Application	31/03/2023																																												
F	Revised Development Application	13/04/2023																																												
P9	Issue To Consultant	1/08/2023																																												
G	DEVELOPMENT APPLICATION	23/08/2023																																												



SHOALHAVEN CITY COUNCIL
Environmental Planning & Assessment Act, 1979

DEVELOPMENT CONSENT NO: DA22/2061 Dated: 19/09/2023

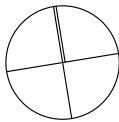
These are the plans referred to in the above Development Consent

Note: Approval of the works shown on this plan is subject to compliance with the conditions of the Development Consent.

FOR AUTHORITY APPROVAL ONLY
NOT FOR CONSTRUCTION

PO Box 601 Kolara
NSW 2289 Ph 49524425
Nominated Architect: Daniel Hadley 8209

Notes
The information contained in the document is copyright and may not be used or reproduced for any other project or purpose.
Verify all dimensions and levels on site and report any discrepancies prior to the commencement of work and any ordering of materials.
Drawings are to be read in conjunction with all contract documents.
Use figured dimensions only. Do not scale from drawings.
ELK Designs cannot guarantee the accuracy of content and format for copies of drawings issued electronically.
The completion of the issue details checked and authorised section below is conformation of the status of the drawing. The drawing shall not be used for construction unless endorsed "For Construction" and authorised for issue.



Consultants

Surveyor
BEREZA SURVEYING
p: (02) 62281038
e: info@bcsurveys.com.au

Town Planner
Le Mottee Group
p: 49871748
e: reception@lemottee.com

Civil Engineer
Le Mottee Group
p: 49871748
e: reception@lemottee.com

Energy Assessor
Building sustainability Assessments
p: 02 4623439
e: enquiries@buildingsustainability.net.au

Structural Engineer

Hydraulic Engineer

Landscape Consultant
JK's Gardencreations
p: 0412582966
e: gardenflora704@gmail.com

Issue	Description	Date
P3	Consultant Issue	20/06/2022
P4	Consultant Issue	18/07/2022
B	Revised Development Application	30/08/2022
P5	Issue to Consultant	22/02/2023
C	Revised Development Application	22/02/2023
D	Revised Development Application	13/04/2023
P6	Issue To Consultant	1/08/2023
E	DEVELOPMENT APPLICATION	23/08/2023

Project
Multiple Dwelling Housing

Location
**8 -10 Davies Street
Mollymook**

Client
The Trustee for JFIG013 Unit Trust

Drawing
ROOF PLAN

Scale
1:200 @ A3

DRAWN
JG/MS

QA CHECKED
SV

Drawing Number
DA150

Issue
E

Project Number
21165



ELEVATION NOTES

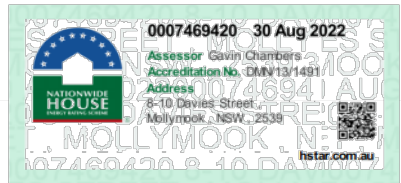
1. REFER TO EXTERNAL FINISHES FOR SELECTED MATERIALS AND COLOURS
2. REFER TO CONSULTING ENGINEERS DRAWINGS FOR STORMWATER DETAILS
3. FOR ROADWAY, DRIVEWAY AND RETAINING WALL DESIGN & LEVELS REFER TO CIVIL ENGINEERS DOCUMENTATION
4. DOWNPIPE POSITIONS ARE INDICATIVE ONLY, POSITION OF DOWNPIPES TO BE CONFIRMED BY BUILDER.
5. FOR LANDSCAPE DESIGN & FENCE LOCATIONS REFER TO LANDSCAPE DESIGNERS DOCUMENTATION

E-01
-WEST ELEVATION
1:150SHOALHAVEN CITY COUNCIL
Environmental Planning & Assessment Act, 1979

DEVELOPMENT CONSENT NO: DA22/2061 Dated: 19/09/2023

These are the plans referred to in the above Development Consent

Note: Approval of the works shown on this plan is subject to compliance with the conditions of the Development Consent.

E-02
-NORTH ELEVATION
1:150FOR AUTHORITY APPROVAL ONLY
NOT FOR CONSTRUCTION

PO Box 601 Kotara
NSW 2289 Ph 49524425
Nominated Architect: Daniel Hadley 8209

Notes
The information contained in the document is copyright and may not be used or reproduced for any other project or purpose.
Verify all dimensions and levels on site and report any discrepancies prior to the commencement of work and any ordering of materials.
Drawings are to be read in conjunction with all contract documents.
Use figured dimensions only. Do not scale from drawings.
ELK Designs cannot guarantee the accuracy of content and format for copies of drawings issued electronically.
The completion of the issue details checked and authorised section below is confirmation of the status of the drawing. The drawing shall not be used for construction unless endorsed "For Construction" and authorised for issue.

Consultants

Surveyor
BEREZA SURVEYING
p: (02) 62281038
e: info@bcsurveys.com.au

Town Planner
Le Mottee Group
p: 49871748
e: reception@lemottee.com

Civil Engineer
Le Mottee Group
p: 49871748
e: reception@lemottee.com

Energy Assessor
Building sustainability Assessments
p: 02 4623439
e: enquiries@buildingsustainability.net.au

Structural Engineer

Hydraulic Engineer

Landscape Consultant
JK's Gardencreations
p: 0412582966
e: gardenflora704@gmail.com

Issue	Description	Date
P6	Consultant Issue	20/06/2022
P7	Consultant Issue	18/07/2022
B	Revised Development Application	30/08/2022
P8	Issue to Consultant	22/02/2023
C	Revised Development Application	22/02/2023
D	Revised Development Application	13/04/2023
P9	Issue To Consultant	1/08/2023
E	DEVELOPMENT APPLICATION	23/08/2023

Project
Multiple Dwelling Housing

Location
**8 -10 Davies Street
Mollmook**

Client
The Trustee for JFIG013 Unit Trust

Drawing
ELEVATIONSScale
1:150 @ A3DRAWN
JG/MSQA CHECKED
SV

Drawing Number
DA300

Issue
E

Project Number
21165

ELK
designs

ELEVATION NOTES

1. REFER TO EXTERNAL FINISHES FOR SELECTED MATERIALS AND COLOURS

2. REFER TO CONSULTING ENGINEERS DRAWINGS FOR STORMWATER DETAILS

3. FOR ROADWAY, DRIVEWAY AND RETAINING WALL DESIGN & LEVELS REFER TO CIVIL ENGINEERS DOCUMENTATION

4. DOWNPIPE POSITIONS ARE INDICATIVE ONLY. POSITION OF DOWNPIPES TO BE CONFIRMED BY BUILDER.

5. FOR LANDSCAPE DESIGN & FENCE LOCATIONS REFER TO LANDSCAPE DESIGNERS DOCUMENTATION



E-03
-
EAST ELEVATION
1:150

SHOALHAVEN CITY COUNCIL
Environmental Planning & Assessment Act, 1979

DEVELOPMENT CONSENT NO: DA22/2061

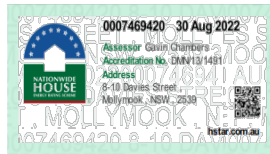
Dated: 19/09/2023

These are the plans referred to in the above Development Consent

Note: Approval of the works shown on this plan is subject to compliance with the conditions of the Development Consent.



E-04
-
SOUTH ELEVATION
1:150



FOR AUTHORITY APPROVAL ONLY
NOT FOR CONSTRUCTION

PO Box 601 Kotara
NSW 2289 Ph 49524425
Nominated Architect: Daniel Hadley 8209
Notes
The information contained in the document is copyright and may not be used or reproduced for any other project or purpose.
Verify all dimensions and levels on site and report any discrepancies prior to the commencement of work and any ordering of materials.
Drawings are to be read in conjunction with all contract documents.
Use figured dimensions only. Do not scale from drawings.
ELK Designs cannot guarantee the accuracy of content and format for copies of drawings issued electronically.
The completion of the issue details checked and authorised section below is conformation of the status of the drawing. The drawing shall not be used for construction unless endorsed "For Construction" and authorised for issue.

Consultants

Surveyor
BEREZA SURVEYING
p: (02) 62281038
e: info@bcsurveys.com.au

Town Planner
Le Mottee Group
p: 49871748
e: reception@lemottee.com

Civil Engineer

Le Mottee Group
p: 49871748
e: reception@lemottee.com

Energy Assessor
Building sustainability Assessments
p: 02 4623439
e: enquiries@buildingsustainability.net.au

Structural Engineer**Hydraulic Engineer**

Landscape Consultant
JK's Gardencreations
p: 0412582966
e: gardenflora704@gmail.com

Issue	Description	Date
P6	Consultant Issue	20/06/2022
P7	Consultant Issue	18/07/2022
P8	Revised Development Application	30/08/2022
B	Issue to Consultant	22/02/2023
C	Revised Development Application	22/02/2023
D	Revised Development Application	13/04/2023
P9	Issue To Consultant	1/08/2023
E	DEVELOPMENT APPLICATION	23/08/2023

Project
Multiple Dwelling Housing
Location
**8 -10 Davies Street
Mollymook**
Client
The Trustee for JFIG013 Unit Trust

Drawing
ELEVATIONS
Scale
1:150 @ A3

DRAWN
JG/MS

QA CHECKED
SV

Drawing Number
DA301
Issue
E
Project Number
21165

ELK
designs



E-05
-

WEST ELEVATION
1:150

SHOALHAVEN CITY COUNCIL
Environmental Planning & Assessment Act, 1979

DEVELOPMENT CONSENT NO: DA22/2061 Dated: 19/09/2023

These are the plans referred to in the above Development Consent

Note: Approval of the works shown on this plan is subject to compliance with the conditions of the Development Consent.



E-06
-

EAST ELEVATION
1:150



FOR AUTHORITY APPROVAL ONLY
NOT FOR CONSTRUCTION

PO Box 601 Kolaria
NSW 2289 Ph 49524425
Nominated Architect: Daniel Hadley 8209

Notes
The information contained in the document is copyright and may not be used or reproduced for any other project or purpose.
Verify all dimensions and levels on site and report any discrepancies prior to the commencement of work and any ordering of materials.
Drawings are to be read in conjunction with all contract documents.
Use figured dimensions only. Do not scale from drawings.
ELK Designs cannot guarantee the accuracy of content and format for copies of drawings issued electronically.
The completion of the issue details checked and authorised section below is conformation of the status of the drawing. The drawing shall not be used for construction unless endorsed 'For Construction' and authorised for issue.

Consultants

Surveyor
BEREZA SURVEYING
p: (02) 62281038
e: info@bcsurveys.com.au

Town Planner
Le Mottee Group
p: 49871748
e: reception@lemottee.com

Civil Engineer
Le Mottee Group
p: 49871748
e: reception@lemottee.com

Energy Assessor
Building sustainability Assessments
p: 02 4623439
e: enquiries@buildingsustainability.net.au

Structural Engineer

Hydraulic Engineer

Landscape Consultant
JK's Gardencreations
p: 0412582966
e: gardenflora704@gmail.com

Issue	Description	Date
P3	Consultant Issue	20/06/2022
P4	Consultant Issue	18/07/2022
B	Revised Development Application	30/08/2022
P5	Issue to Consultant	22/02/2023
C	Revised Development Application	22/02/2023
D	Revised Development Application	13/04/2023
P6	Issue To Consultant	1/08/2023
E	DEVELOPMENT APPLICATION	23/08/2023

Project
Multiple Dwelling Housing

Location
**8 -10 Davies Street
Mollymook**

Client
The Trustee for JFIG013 Unit Trust

Drawing
ELEVATIONS

Scale
1:150 @ A3

DRAWN
JG/MS

QA CHECKED
SV

Drawing Number
DA302

Issue
E

Project Number
21165

ELK
designs

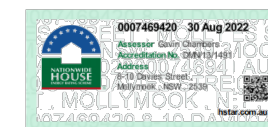


E-07
-
NORTH ELEVATION
1:150

SHOALHAVEN CITY COUNCIL
Environmental Planning & Assessment Act, 1979
DEVELOPMENT CONSENT NO: DA22/2061 Dated: 19/09/2023
These are the plans referred to in the above Development Consent
Note: Approval of the works shown on this plan is subject to compliance with the conditions of the Development Consent.



E-08
-
SOUTH ELEVATION
1:150



FOR AUTHORITY APPROVAL ONLY
NOT FOR CONSTRUCTION

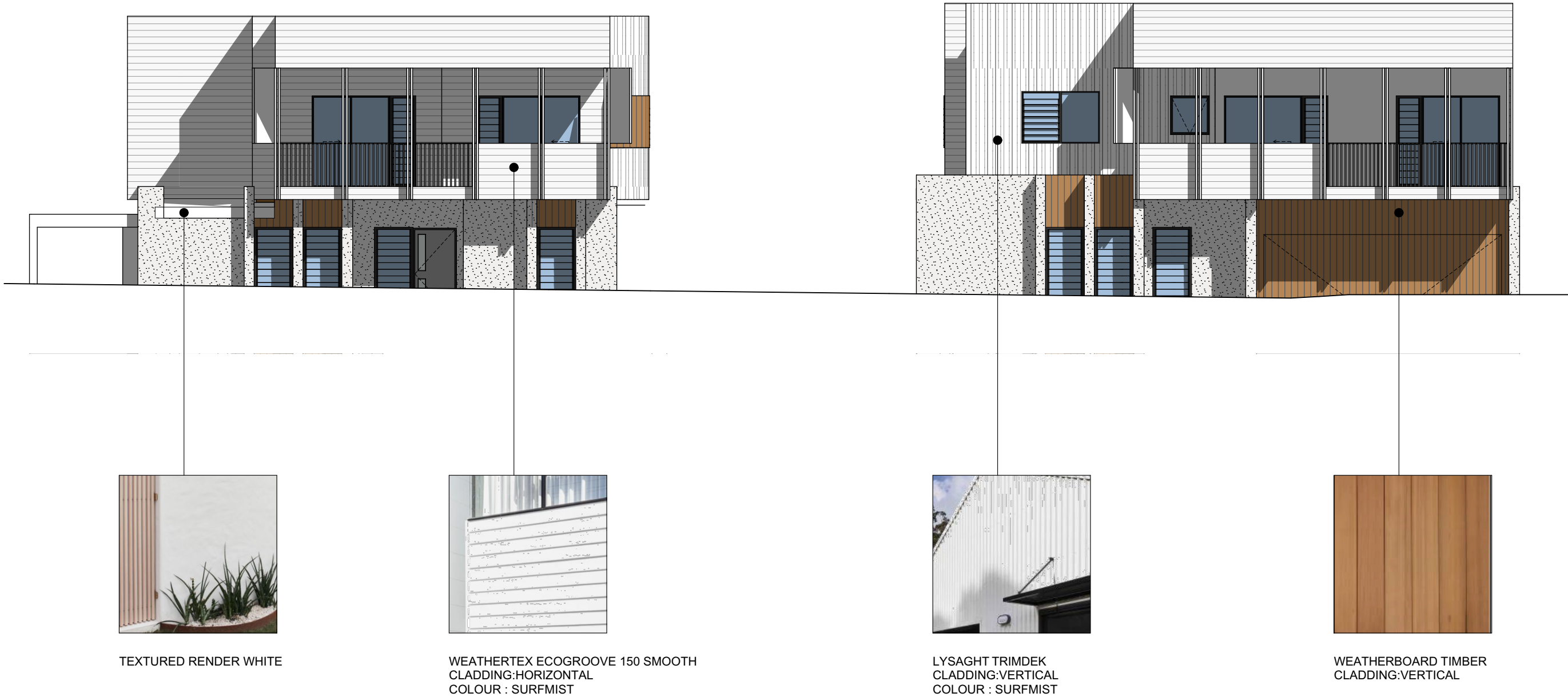
<div>PO Box 601 Kotara NSW 2289 Ph 49524425 Nominated Architect: Daniel Hadley 8209</div> <div>Notes The information contained in the document is copyright and may not be used or reproduced for any other project or purpose. Verify all dimensions and levels on site and report any discrepancies prior to the commencement of work and any ordering of materials. Drawings are to be read in conjunction with all contract documents. Use figured dimensions only. Do not scale from drawings. ELK Designs cannot guarantee the accuracy of content and format for copies of drawings issued electronically. The completion of the issue details checked and authorised section below is confirmation of the status of the drawing. The drawing shall not be used for construction unless endorsed "For Construction" and authorised for issue.</div>		<div>Consultants</div> <div><div><div>Surveyor</div><div>BEREZA SURVEYING p: (02) 62281038 e: info@bcsurveys.com.au</div></div><div><div>Town Planner</div><div>Le Mottee Group p: 49871748 e: reception@lemottee.com</div></div></div> <div><div><div>Civil Engineer</div><div>Le Mottee Group p: 49871748 e: reception@lemottee.com</div></div><div><div>Energy Assessor</div><div>Building sustainability Assessments p: 02 4623439 e: enquiries@buildingsustainability.net.au</div></div></div> <div><div>Structural Engineer</div><div></div><div>Hydraulic Engineer</div></div> <div><div>Landscape Consultant</div><div>JK's Gardencreations p: 0412582966 e: gardenflora704@gmail.com</div></div>				<div><div>Issue</div><div>P3 P4 B P5 C D P6 E</div></div> <div><div>Description</div><div>Consultant Issue Consultant Issue Revised Development Application Issue to Consultant Revised Development Application Revised Development Application Issue To Consultant DEVELOPMENT APPLICATION</div></div> <div><div>Date</div><div>20/06/2022 18/07/2022 30/08/2022 22/02/2023 22/02/2023 13/04/2023 1/08/2023 23/08/2023</div></div>	<div><div>Project</div><div>Multiple Dwelling Housing</div><div>Location</div><div>8 -10 Davies Street Mollymook</div><div>Client</div><div>The Trustee for JFIG013 Unit Trust</div></div> <div><div>DRAWN</div><div>JG/MS</div></div> <div><div>QA CHECKED</div><div>SV</div></div>	<div><div>Drawing</div><div>ELEVATIONS</div><div>Scale</div><div>1:150 @ A3</div></div> <div><div>Drawing Number</div><div>DA303</div><div>Issue</div><div>E</div><div>Project Number</div><div>21165</div></div>	<div><div>ELK</div><div>designs</div></div>

SHOALHAVEN CITY COUNCIL
Environmental Planning & Assessment Act, 1979

DEVELOPMENT CONSENT NO: DA22/2061 Dated: 19/09/2023

These are the plans referred to in the above Development Consent

Note: Approval of the works shown on this plan is subject to compliance with the conditions of the Development Consent.



FOR AUTHORITY APPROVAL ONLY
NOT FOR CONSTRUCTION

PO Box 601 Kolaria
NSW 2289 Ph 49524425
Nominated Architect: Daniel Hadley 8209

Notes
The information contained in the document is copyright and may not be used or reproduced for any other project or purpose.
Verify all dimensions and levels on site and report any discrepancies prior to the commencement of work and any ordering of materials.
Drawings are to be read in conjunction with all contract documents.
Use figured dimensions only. Do not scale from drawings.
ELK Designs cannot guarantee the accuracy of content and format for copies of drawings issued electronically.
The completion of the issue details checked and authorised section below is in confirmation of the status of the drawing. The drawing shall not be used for construction unless endorsed "For Construction" and authorised for issue.

Consultants

Surveyor
BEREZA SURVEYING
p: (02) 62281038
e: info@bcsurveys.com.au

Town Planner
Le Mottee Group
p: 49871748
e: reception@lemottee.com

Civil Engineer
Le Mottee Group
p: 49871748
e: reception@lemottee.com

Energy Assessor
Building sustainability Assessments
p: 02 4623439
e: enquiries@buildingsustainability.net.au

Structural Engineer

Hydraulic Engineer

Landscape Consultant
JK's Gardencreations
p: 0412582966
e: gardenflora704@gmail.com

Issue	Description	Date
P3	Consultant Issue	20/06/2022
P4	Consultant Issue	18/07/2022
B	Revised Development Application	30/08/2022
P5	Issue to Consultant	22/02/2023
C	Revised Development Application	22/02/2023
D	Revised Development Application	13/04/2023
P6	Issue To Consultant	1/08/2023
E	DEVELOPMENT APPLICATION	23/08/2023

Project
Multiple Dwelling Housing

Location
**8 -10 Davies Street
Mollymook**

Client
The Trustee for JFIG013 Unit Trust

Drawing
EXTERNAL FINISHES

Scale
1:100, 1:139.28 @ A3

DRAWN
JG/MS

QA CHECKED
SV

Drawing Number
DA350

Issue
E

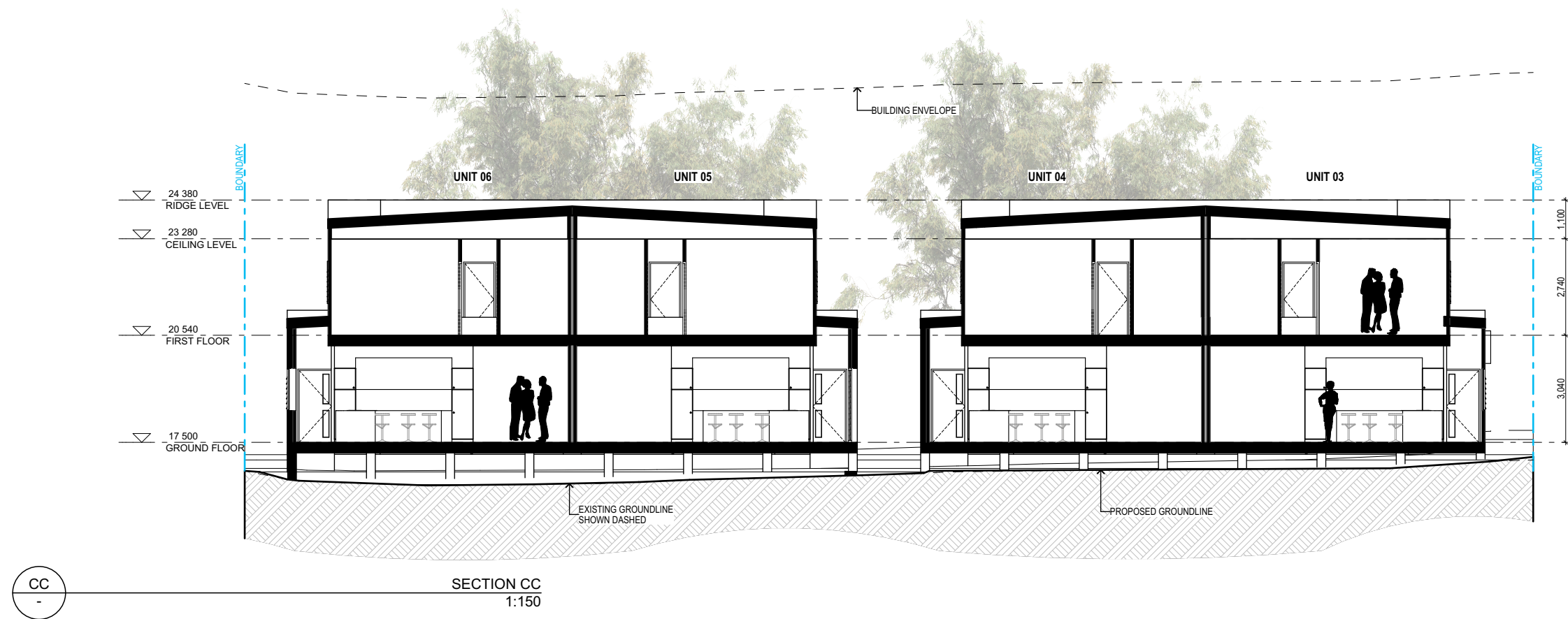
Project Number
21165

ELK
designs



FOR AUTHORITY APPROVAL ONLY
NOT FOR CONSTRUCTION

<div>PO Box 601 Kotara NSW 2289 Ph 49524425 Nominated Architect: Daniel Hadley 8209</div> <div>Notes</div> <div>The information contained in the document is copyright and may not be used or reproduced for any other project or purpose. Verify all dimensions and levels on site and report any discrepancies prior to the commencement of work and any ordering of materials. Drawings are to be read in conjunction with all contract documents. Use figured dimensions only. Do not scale from drawings. ELK Designs cannot guarantee the accuracy of content and format for copies of drawings issued electronically. The completion of the issue details checked and authorised section below is confirmation of the status of the drawing. The drawing shall not be used for construction unless endorsed. For Construction, authorised for issue.</div>	<div>Consultants</div> <div><div>Surveyor</div><div>BEREZA SURVEYING p: (02) 62281038 e: info@bcsurveys.com.au</div><div>Town Planner</div><div>Le Mottee Group p: 49871748 e: reception@lemottee.com</div></div> <div><div>Civil Engineer</div><div>Le Mottee Group p: 49871748 e: reception@lemottee.com</div><div>Energy Assessor</div><div>Building sustainability Assessments p: 02 4623439 e: enquiries@buildingsustainability.net.au</div></div> <div><div>Structural Engineer</div><div>Landscape Consultant</div><div>JK's Gardencreations p: 0412582966 e: gardenflora704@gmail.com</div><div>Hydraulic Engineer</div></div>	<table><tr><th>Issue</th><th>Description</th><th>Date</th></tr><tr><td>P5</td><td>Consultant Issue</td><td>20/06/2022</td></tr><tr><td>P6</td><td>Consultant Issue</td><td>18/07/2022</td></tr><tr><td>B</td><td>Revised Development Application</td><td>30/08/2022</td></tr><tr><td>C</td><td>Issue to Consultant</td><td>22/02/2023</td></tr><tr><td>D</td><td>Revised Development Application</td><td>22/02/2023</td></tr><tr><td>E</td><td>Revised Development Application</td><td>13/04/2023</td></tr><tr><td>P7</td><td>Issue To Consultant</td><td>1/08/2023</td></tr><tr><td>F</td><td>DEVELOPMENT APPLICATION</td><td>23/08/2023</td></tr></table>	Issue	Description	Date	P5	Consultant Issue	20/06/2022	P6	Consultant Issue	18/07/2022	B	Revised Development Application	30/08/2022	C	Issue to Consultant	22/02/2023	D	Revised Development Application	22/02/2023	E	Revised Development Application	13/04/2023	P7	Issue To Consultant	1/08/2023	F	DEVELOPMENT APPLICATION	23/08/2023	<div>Project</div> <div>Multiple Dwelling Housing</div> <div>Location</div> <div>8 -10 Davies Street</div> <div>Mollymook</div> <div>Client</div> <div>The Trustee for JFPG013 Unit Trust</div>	<div>Drawing</div> <div>SECTIONS</div> <div>Scale</div> <div>1:150 @ A3</div> <div>DRAWN</div> <div>JG/MS</div> <div>QA CHECKED</div> <div>SV</div>	<div>Drawing Number</div> <div>DA400</div> <div>Issue</div> <div>F</div> <div>Project Number</div> <div>21165</div>	<div>ELK designs</div>
Issue	Description	Date																															
P5	Consultant Issue	20/06/2022																															
P6	Consultant Issue	18/07/2022																															
B	Revised Development Application	30/08/2022																															
C	Issue to Consultant	22/02/2023																															
D	Revised Development Application	22/02/2023																															
E	Revised Development Application	13/04/2023																															
P7	Issue To Consultant	1/08/2023																															
F	DEVELOPMENT APPLICATION	23/08/2023																															



SHOALHAVEN CITY COUNCIL
Environmental Planning & Assessment Act, 1979

DEVELOPMENT CONSENT NO: DA22/2061 Dated: 19/09/2023

These are the plans referred to in the above Development Consent

Note: Approval of the works shown on this plan is subject to compliance with the conditions of the Development Consent.

FOR AUTHORITY APPROVAL ONLY
NOT FOR CONSTRUCTION

PO Box 601 Kolaria
NSW 2289 Ph 49524425
Nominated Architect: Daniel Hadley 8209

Notes
The information contained in the document is copyright and may not be used or reproduced for any other project or purpose.
Verify all dimensions and levels on site and report any discrepancies prior to the commencement of work and any ordering of materials.
Drawings are to be read in conjunction with all contract documents.
Use figured dimensions only. Do not scale from drawings.
ELK Designs cannot guarantee the accuracy of content and format for copies of drawings issued electronically.
The completion of the issue details checked and authorised section below is conformation of the status of the drawing. The drawing shall not be used for construction unless endorsed "For Construction" and authorised for issue.

Consultants

Surveyor
BEREZA SURVEYING
p: (02) 62281038
e: info@bcsurveys.com.au

Town Planner
Le Mottee Group
p: 49871748
e: reception@lemottee.com

Civil Engineer
Le Mottee Group
p: 49871748
e: reception@lemottee.com

Energy Assessor
Building sustainability Assessments
p: 02 4623439
e: enquiries@buildingsustainability.net.au

Structural Engineer

Hydraulic Engineer

Landscape Consultant
JK's Gardencreations
p: 0412582966
e: gardenflora704@gmail.com

Issue	Description	Date
P1	Consultant Issue	20/06/2022
P2	Consultant Issue	18/07/2022
B	Revised Development Application	30/08/2022
P3	Issue to Consultant	22/02/2023
C	Revised Development Application	22/02/2023
D	Revised Development Application	13/04/2023
P4	Issue To Consultant	1/08/2023
E	DEVELOPMENT APPLICATION	23/08/2023

Project
Multiple Dwelling Housing

Location
**8 -10 Davies Street
Mollymook**

Client
The Trustee for JFIG013 Unit Trust

Drawing
DA401 SECTION

Scale
1:150 @ A3

DRAWN
JG/MS

QA CHECKED
SV

Drawing Number
DA401

Issue
E

Project Number
21165





UNIT 1 AREA	=	128 m ²	
UNIT 2 AREA	=	123 m ²	
UNIT 3 AREA	=	122 m ²	
UNIT 4 AREA	=	121 m ²	
UNIT 5 AREA	=	121 m ²	
UNIT 6 AREA	=	121 m ²	
UNIT 7 AREA	=	131 m ²	
UNIT 8 AREA	=	118 m ²	
TOTAL ROOFS	=	985 m ²	(48.7%)
DRIVE/ALFRESCO AREA	=	4.87 m ²	(4.0%) (24.0%)
COURTYARD AREA	=	552 m ²	(60%) (27.3%)
TOTAL	=	1039 m ²	(51.3%)
TOTAL AREA	=	2,024 m ²	(100%)

SEE SHEET 02 FOR STORMWATER QUANTITY MODELLING CALCULATIONS, RAINWATER HARVESTING TANK DETAILS.
SEE SHEET 03 FOR STORMWATER QUALITY CALCULATIONS AND ASSUMPTIONS
SEE SHEET 04 FOR DRIVEWAY CONSTRUCTION DETAILS

MARKER PLATE NOTE

1. INSTALL GALVANISED MARKER PLATE ON OR ADJACENT TANK & PITS TO DETAIL BELOW. PLATE TO BE MINIMUM 150x100mm MADE FROM NON-CORROSIVE METAL OR LAMINATED PLASTIC 4mm THICK.

THIS IS AN ON-SITE STORMWATER STORAGE SYSTEM

REQUIRED BY SHOALHAVEN CITY COUNCIL

DO NOT REDUCE THE VOLUME OF THE TANK OR INTERFERE WITH OUTFLOW CONTROLS.

THE TANK MUST BE MAINTAINED ON A REGULAR BASIS BY THE OWNER AS PER THE MAINTENANCE PLAN.

THIS PLATE MUST NOT BE REMOVED.

MARKER PLATE DETAIL

NOT TO SCALE

NOTES:

1. PLAN TO BE READ IN CONJUNCTION WITH ELK DESIGNS PLANS JOB: 21165 REVISION: D DATED: 23/02/2023.
2. ANY RETAINING WALLS TO HAVE SUBSOIL LINES BEHIND WALLS DRAINING TO NEAREST PIT(S).
3. DRAINAGE PIPELINES TO BE WHOLLY WITHIN SUBJECT LOT, ESPECIALLY BEHIND RETAINING WALLS.

DRAINAGE NOTES

1. ALL LEVELS TO BE CONFIRMED ON SITE BY CONTRACTOR AT TIME OF INSTALLATION.
2. PITS, PIPES AND RETENTION SYSTEM TO BE BUILT IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS, COUNCIL DCP AND THE TECHNICAL MANUAL AND AS PER AS 3500.3:2003.
3. PIPE AND PIT POSITIONS ARE INDICATIVE ONLY. FINAL POSITIONS TO BE DETERMINED ON SITE AND SHALL CONFORM WITH THE INTENT OF THIS DESIGN.
4. ALL PIPES 100mmØ PVC UNLESS SHOWN OTHERWISE.
5. RAINWATER HARVESTING TANK GENERALLY TO DETAILS THIS PAGE.
6. CONNECT ALL ROOF AND GUTTER DOWNPIPES TO THE RAINWATER HARVESTING TANKS WITH APPROPRIATE FIRST FLUSH DEVICES AS NECESSARY. WHERE CHARGED PIPES UTILISED, PROVIDE BLEED LINE AND PIT.
7. INSTALL RAINWATER RE-USE SYSTEM i.e. PUMPS, METERS, FLOAT SWITCHES ETC. IN ACCORDANCE WITH BASIX AND COUNCIL GUIDELINES.
8. CONCRETE COMPRESSIVE STRENGTH TO BE F_{ck} 25MPa. ALL METAL COMPONENTS TO BE HOT DIPPED GALVANIZED STEEL AFTER FABRICATION, OR BE STAINLESS STEEL, AND BE FASTENED USING MINIMUM 10mm S/S FASTENERS.
9. THE CONTRACTOR SHALL ADEQUATELY SHIELD PIPES AGAINST CONSTRUCTION AND PERMANENT LOADS. WHERE ADEQUATE COVER CANNOT BE PROVIDED, PIPES SHALL BE CONCRETE ENCASED.
10. STORMWATER PIPES UNDER DRIVEWAYS, PUBLIC FOOTWAY OR WHERE COVER IS LESS THAN 300mm TO BE SEWER GRADE.
11. PROVIDE AN OVERLAND FLOW PATH BELOW EACH PIT TO THE NEXT PIT OR STREET AND BE FREE OF OBSTRUCTIONS SUCH AS GARDENS.
12. REGULAR INSPECTION, CLEANING AND MAINTENANCE IS TO BE CARRIED OUT ON THE DRAINAGE SYSTEM BY THE OWNER.

OPERATION & MAINTENANCE

IT IS PLANNED THAT MAINTENANCE OF RAINWATER TANKS WILL BE BY THE FUTURE OWNER/OCCUPIERS OF EACH DWELLING AND THE COMMON DRIVEWAY PITS AND TANKS WOULD BE INSPECTED AND MAINTAINED BY AUTHORISED PERSONNEL UNDER THE STRATA SCHEME FOR THE COMMON PROPERTY.

SAND FILTER TANK

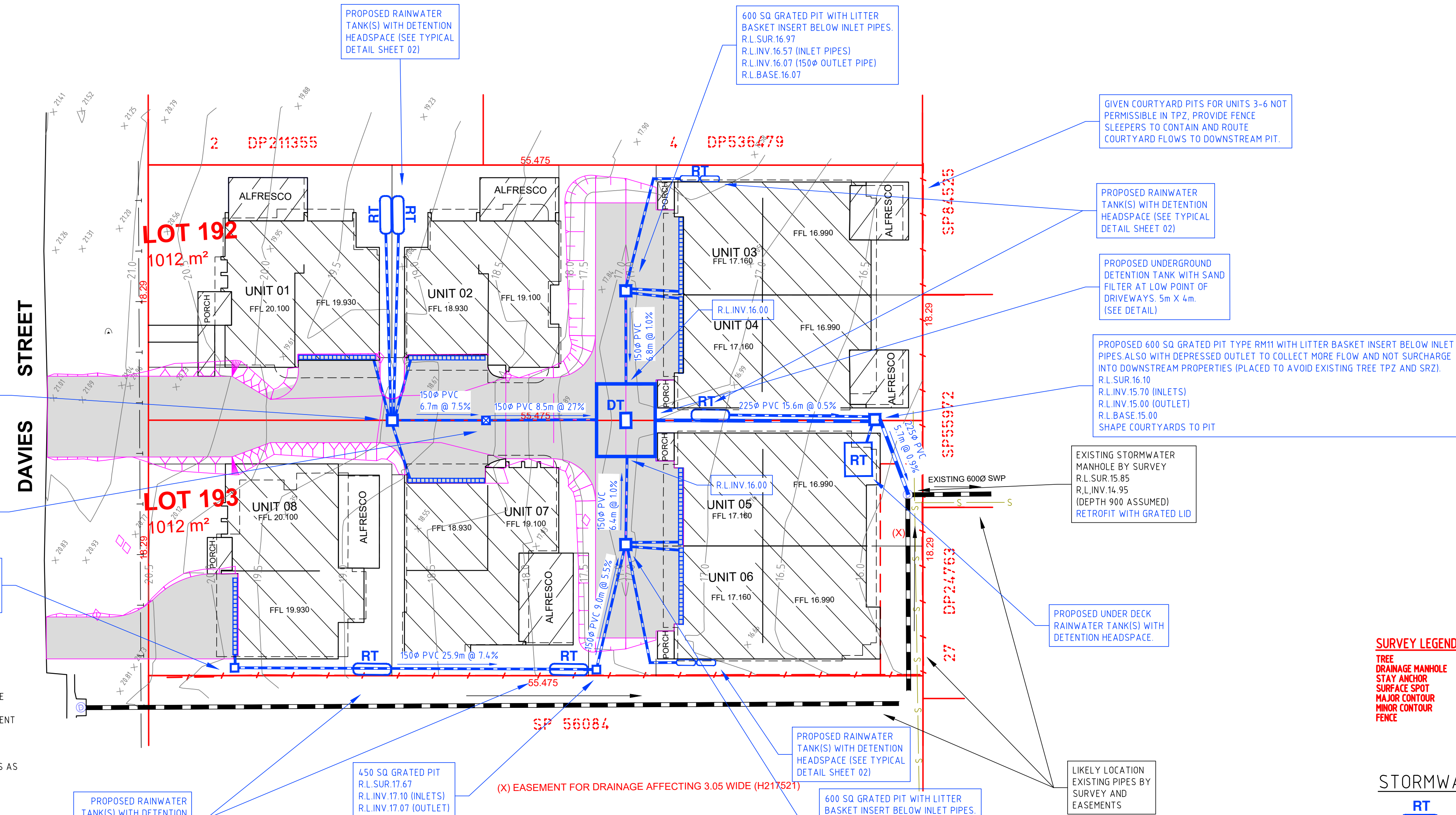
1. PROVIDE MARKER PLATE FOR TANK TO DETAILS THIS PAGE.
2. PROVIDE A SAND LEVEL MARKER PLATE, MADE FROM ETCHED BRASS SHOULD BE INSTALLED ON THE INSIDE WALL OF THE SAND FILTER TO INDICATE ITS INTENDED PURPOSE AND TO MARK THE LEVEL TO WHICH SAND SHOULD BE PLACED.
3. MAINTAINING THE FLOW THROUGH A SAND FILTER RELIES ON REGULAR INSPECTION AND REMOVAL OF THE TOP LAYER OF ACCUMULATED SEDIMENT. INSPECTIONS SHOULD BE CONDUCTED AFTER THE FIRST FEW SIGNIFICANT RAINFALL EVENTS FOLLOWING INSTALLATION AND THEN AT LEAST EVERY SIX MONTHS FOLLOWING. THE INSPECTIONS WILL HELP TO DETERMINE THE LONG TERM CLEANING FREQUENCY FOR THE SEDIMENTATION CHAMBER AND THE SURFACE OF THE SAND MEDIA.
4. REMOVING FINE SEDIMENT FROM THE SURFACE OF THE SAND MEDIA CAN TYPICALLY BE PERFORMED WITH A FLAT BOTTOMED SHOVEL OR VACUUM MACHINERY. TILLING BELOW THIS SURFACE LAYER CAN ALSO MAINTAIN INFILTRATION RATES.
5. SEDIMENT ACCUMULATION IN THE SEDIMENTATION CHAMBER NEEDS TO BE MONITORED. DEPENDING ON CATCHMENT ACTIVITIES (E.G. BUILDING PHASE), SEDIMENT DEPOSITION CAN OVERWHELM THE CHAMBER, INCREASE BLINDING OF THE DEVICE AND REDUCE FLOW CAPACITIES.
6. DEBRIS REMOVAL IS AN ONGOING MAINTENANCE FUNCTION. IF NOT REMOVED, DEBRIS CAN BLOCK INLETS OR OUTLETS, AND BE UNSIGHTLY IF LOCATED IN A VISIBLE LOCATION. INSPECTION AND REMOVAL OF DEBRIS / LITTER SHOULD BE CARRIED OUT REGULARLY AT LEAST QUARTERLY OR AFTER STORM EVENTS.
7. A MAINTENANCE MANUAL FOR THE SAND FILTER IS TO BE PROVIDED TO OCCUPIERS/SITE MANAGERS AS PART OF SWC OR SC DA CONDITIONS. THE MANUAL IS TO ADDRESS MAINTENANCE ISSUES CONCERNING THE SAND FILTER INCLUDING ROUTINE MONITORING AND MAINTENANCE. PERIODIC MONITORING AND MAINTENANCE IS TO ENSURE THE SYSTEM FUNCTIONS AS DESIGNED AND MEETS WATER QUALITY TARGETS OVER THE LIFE CYCLE OF THE DEVICE.

LITTER BASKETS

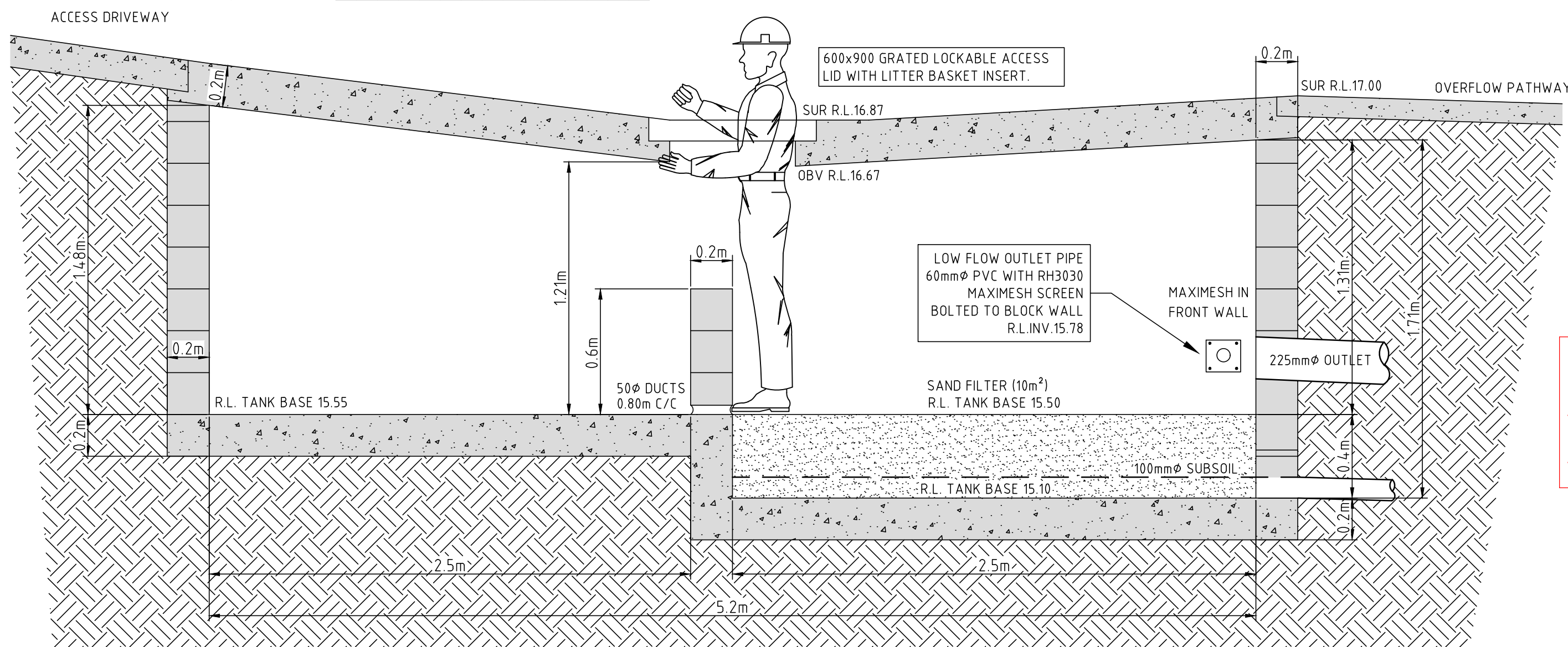
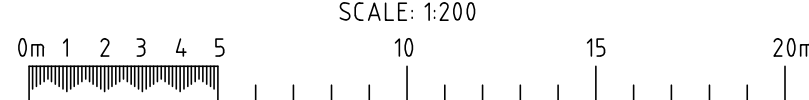
1. PROVIDE MARKER PLATE FOR EACH PIT CONTAINING A BASKET INSERT TO DETAILS THIS PAGE.
2. INSPECTION AND REMOVAL OF DEBRIS / LITTER SHOULD BE CARRIED OUT REGULARLY AT LEAST QUARTERLY OR AFTER STORM EVENTS.
3. BASKET CAN BE CLEANED VIA VACU-TRUCK OR BASKET REMOVED AND DUMPED OUT TO APPROVED WASTE FACILITY e.g. COMMON PROPERTY GARBAGE BINS.

RAINWATER TANKS

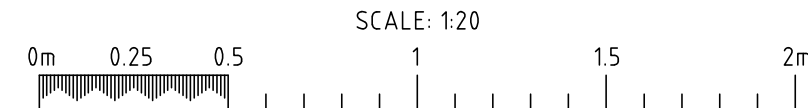
1. GUTTER AND/OR DOWNPIPES AND TANKS SHOULD BE FITTED WITH APPROPRIATE MOSQUITO PROOF MESH FILTER SCREENS.
2. FIRST FLUSH DEVICES AND INLETS SHOULD BE CLEANED REGULARLY.
3. TANKS & SCREENS MAY ACCUMULATE SEDIMENT/LITTER FROM TIME TO TIME AND THIS WILL NEED TO BE REMOVED PERIODICALLY IN ORDER TO KEEP THE WATER CLEAR.
4. TANKS SHOULD BE INSPECTED FOR SLUDGE EVERY 2-3 YEARS. IF SLUDGE IS PRESENT, IT MAY BE REMOVED BY SIPHONING THE BOTTOM OF THE TANK AND DISPOSING THE WATER TO GARDEN OR SEWER.



PLAN VIEW



TYPICAL SECTION OF DETENTION TANK



SURVEY LEGEND

TREE
DRAINAGE MANHOLE
STAY ANCHOR
SURFACE SPOT
MAJOR CONTOUR
MINOR CONTOUR
FENCE

STORMWATER LEGEND:

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT

RT
DENOTES RAINWATER HARVESTING TANK
DENOTES GRATED PIT
PIT SIZE TO SUIT DEPTH REQUIRED
DEPTH PIT SIZE
~450 300x300
450 - 600 450x450
600 - 900 600x600
900 - 1200 600x900
~1200 900x900

RT
DENOTES SOLID LID PIT

RT
DENOTES 90Ø PVC PIPE U.N.O.
OR PIPE SIZE SHOWN. MIN. 0.5% FALL

RT
DENOTES 300 WIDE GRATED
STRIP DRAIN U.N.O.

RT
DENOTES DESIGNED FINISHED LEVEL

SHOALHAVEN CITY COUNCIL
Environmental Planning & Assessment Act, 1979
DEVELOPMENT CONSENT NO: DA22/2061 Dated: 19/09/2023
These are the plans referred to in the above Development Consent
Note: Approval of the works shown on this plan is subject to compliance with the conditions of the Development Consent.

Steve Beatty
B.Eng (Civil), M.I.E. Aust NER
Senior Civil Engineer
Dated: 12/4/2023



LE MOTTEE GROUP

SURVEYING | CIVIL ENGINEERING | TOWN PLANNING | PROJECT MANAGEMENT
STRATA CERTIFICATION | ECOLOGY | BUSHFIRE ASSESSMENT

4/199 ADELAIDE STREET
PO BOX 363
RAYMOND TERRACE, 2324
P: 4987 1748
reception@lemottee.com
ABN 38 136 535 156

COPYRIGHT
THIS DRAWING REMAINS THE PROPERTY OF
LE MOTTEE GROUP PTY LTD.
IT MAY ONLY BE USED FOR THE PURPOSE FOR WHICH
IT WAS COMMISSIONED AND IN ACCORDANCE WITH
THE TERMS OF ENGAGEMENT FOR THE COMMISSION.
UNAUTHORISED USE OF THIS DRAWING IS
PROHIBITED.

Revisions:

No.	Details	Date	Drawn
E	U6 TANK NOTES AMENDED. ISSUED FOR DEVELOPMENT CONSENT	12/04/23	SJB
D	AMENDED FOR COUNCIL RFI. ISSUED FOR DEVELOPMENT CONSENT	29/03/23	SJB
C	PLANS SLIGHTLY AMENDED FOR TODAY'S NEW ARCH PLANS	22/02/23	SJB
B	STORMWATER LAYOUT AMENDED	22/12/22	BRC
A	ISSUED FOR CLIENTS AND ARCHITECTS COMMENTS	14/04/22	BRC

Technical Details:

Azimuth - MGA
Datum - A.H.D.
Drawn - SJB
Surveyed - OTHERS

Title
Client
Site
Locality

STORMWATER MANAGEMENT PLAN
FOR PROPOSED UNIT DEVELOPMENT
JFPG013 PTY LTD
LOTS 192 & 193 D.P.30301, No's.8-10 DAVIES STREET
LGA SHOALHAVEN

Our Ref:

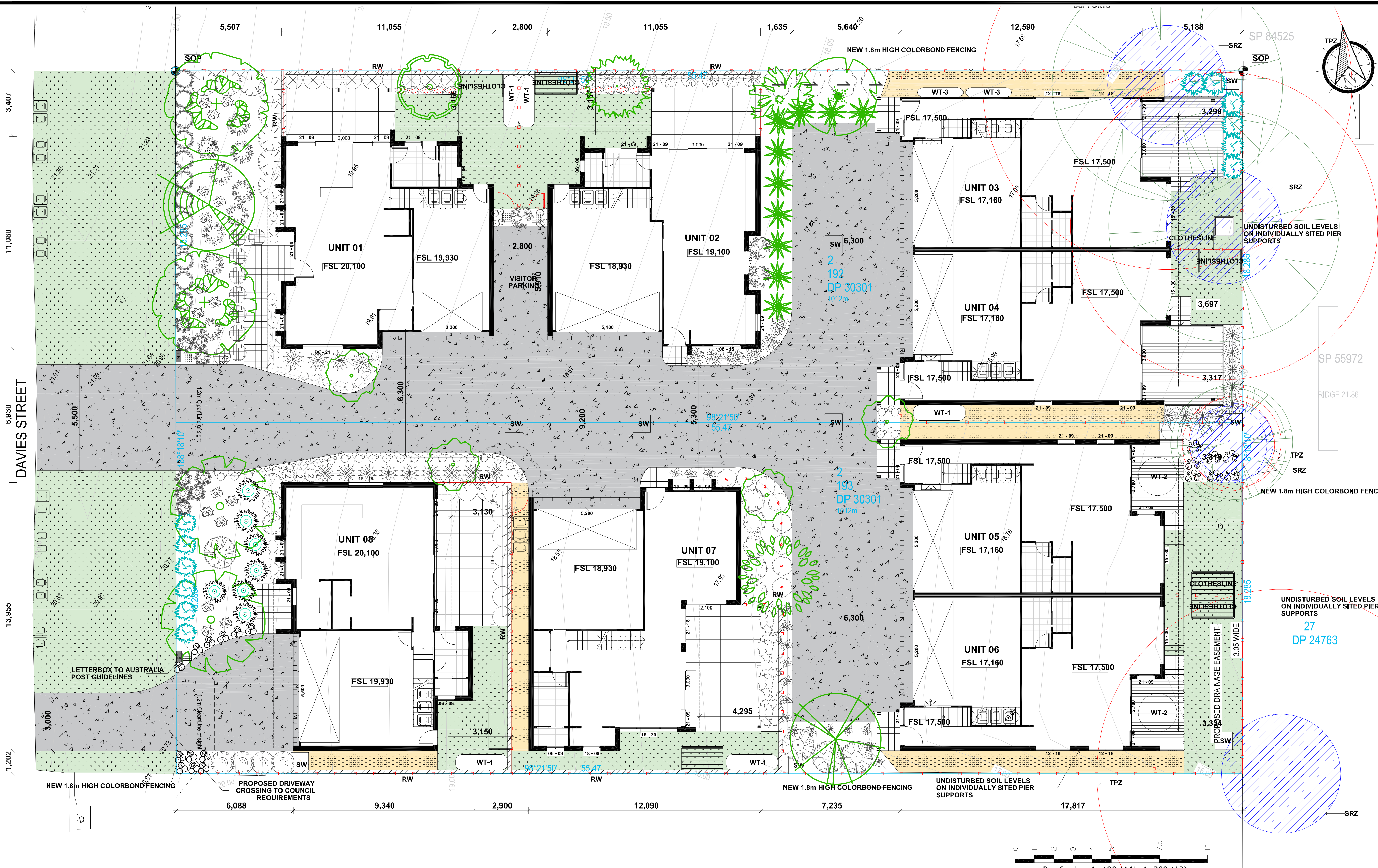
8701 ENG-F

Original Size

Sheet No.

A1

01 of 04



DRAWING TO BE READ IN CONJUNCTION WITH THE ARCHITECTS- STORMWATER- ENGINEERS PLANS PLUS ASSOCIATED SHEETS ATTACHED

LEGEND

CONCRETE PATHS & DRIVEWAY

TURF - REFER TO SHEET 5 FOR DETAILS

100mm COMPACTED RHYOLITE TO SHADED AREAS - REFER TO SHEET 5 FOR DETAILS

GARBAGE BINS

CLOTHESLINES

WT-1

WATER TANKS

1.8M HIGH COLOURBOND BOUNDARY FENCE AND DIVIDING FENCES PLUS RETURNS

1.5M HIGH SLAT TIMBER FRONT BOUNDARY FENCE

EXTERNAL YARD TAP

LB

LETTERBOX

x 26.00

DENOTES DESIGN SPOT LEVELS

RWH

DENOTES RETAINING WALL TO ENGINEERS DETAILS

450 x 450 STEPPING PAVERS

PRIVATE OPEN SPACE

DATE	BY	AMENDMENT
01.8.23	MS	UPDATED TO ARCHITECTURAL PLANS - P9 DATED 01.08.2023.

LANDSCAPE DESIGNER

JK's GARDEN CREATIONS

PO. BOX 168 GAN GAN RD
ANNA BAY. NSW. 2316

John A. Kime
Mob. 0412582966
email.gardenflora704@gmail.com

Member AILDM
Diploma in Horticulture L/scape Dsn. Cert. Ag

IN ASSOCIATION WITH:

tolero

LANDSCAPE DESIGN

Mishka Sternbeck
P.O. BOX 203 RUTHERFORD NSW 2320
Mob: 0422406688
email: mishkas@optusnet.com.au

Member AILDM
Diploma in Landscape Design

SITE ADDRESS
Multi Dwelling Housing
Lot 192 & 193 DP30301
8-10 Davis Street
Mollymook. NSW.

CLIENT
BEN LANE

ARCHITECT

ELK
designs

PO Box 601 Kotara
NSW 2289 Ph: 49524425
Nominated Architect: Daniel Hadley 8209

PO Box 601 Kotara
NSW 2289 Ph: 49524425
Nominated Architect: Daniel Hadley 8209

ELK
designs

Notes:
This document is intended to be used as a guide only and does not constitute a contract.
The client is responsible for ensuring that the design is suitable for the site and that all necessary approvals are obtained.
The client is responsible for ensuring that the design is suitable for the site and that all necessary approvals are obtained.

DRAWN	DATE
JK	22/3/2022
SCALES	CHECKED
1:100 @ A1 1:200 @ A3	Mishka
SHEET	JOB No.
2 OF 5 Overall Landscape Plan	JFPG110322

PLANT LEGEND

TREES

BC BACKHOUSIA CITRIDODORA

BA BRACHYCHITON ACERIFOLIUS

CHR CALLISTEMON HANNAH RAY

CFSR CORYMBIA FICIFOLIA 'SUMMER RED'

CA CUPANIOPSIS ANARACIODES

ERPD ELEOCARPUS PRIMMA DONNA

ER ELEOCARPUS RETICULATUS

MTB MAGNOLIA TEDDY BEAR

SA SYZYGIIUM AUSTRALE

TLL TRISTANIOPSIS LAURINA LUCSIOUS

WF WATERHOUSIA FLORIBUNDA

PLANT LEGEND

GRASSES G/COVERS

BRC BANKSIA ROLLER COASTER

DCSS DARWINIA SEA SPRAY

DSS DIANELLA SILVER STREAK

GT GAZANIA TOMENTOSA

GLC GREVILLEA LANIGERA CTVR

MPP MYOPORUM PARV. PURPUREA

RBL ROSMARINUS BLUE LAGOON

TTRI TRACHELOSPERMUM TRICOLOUR

WFF WESTRINGIA FLAT N FRUITY

PLANT LEGEND

SHRUBS

AGD ABELIA GRANDIFLORA DWARF

ACS ACMENA CHERRY SURPRISE

BVN BAECKEA VIRGATA NANA

BF BUXUS FAULKNER

BM BUXUS MICROPHYLLA

CGBF CALLISTEMON GREAT BALLS OF FIRE

CRR CALLISTEMON RED ROCKET

CWJ CALLISTEMON WEE JOHNNIE

CWW CALLISTEMON WILDERNESS WHITE

CR CORDYLINA RUBRA

GLO GREVILLEA LADY O

LA LEPTOSPERMUM APHRODITE

LR LEPTOSPERMUM RHIANNON

LCB LORAPETALUM BURGUNDY

MCT MELALEUCA CLARET TOPS

MSM MELALEUCA SEA MIST

PMM PITTOSPORUM MISS MUFFET

RAB RAPHIOLEPSIS APPLE BLOSSOM

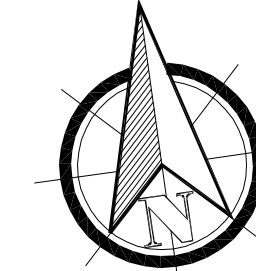
RSM RAPHIOLEPSIS SNOW MAIDEN

RTB ROSEMARY TUSCAN BLUE

SHOALHAVEN CITY COUNCIL
Environmental Planning & Assessment Act, 1979
DEVELOPMENT CONSENT NO: DA22/2061 Dated: 19/09/2023
These are the plans referred to in the above Development Consent
Note: Approval of the works shown on this plan is subject to compliance with the conditions of the Development Consent.

Refer to ELK Site Coverage Plan for Landscape Calculations





DRAWING TO BE READ IN CONJUNCTION WITH THE ARCHITECTS- STORMWATER- ENGINEERS PLANS PLUS ASSOCIATED SHEETS ATTACHED

LEGEND

- CONCRETE PATHS & DRIVEWAY
- TURF - REFER TO SHEET 5 FOR DETAILS
- 100mm COMPACTED RHYOLITE TO SHADED AREAS - REFER TO SHEET 5 FOR DETAILS
- GARBAGE BINS
- CLOTHESLINES
- WT-1 WATER TANKS
- 1.8M HIGH COLOURBOND BOUNDARY FENCE AND DIVIDING FENCES PLUS RETURNS
- 1.5M HIGH SLAT TIMBER FRONT BOUNDARY FENCE
- EXTERNAL YARD TAP
- LETTERBOX
- 26.00 DENOTES DESIGN SPOT LEVELS
- RWH DENOTES RETAINING WALL TO ENGINEERS DETAILS
- 450 x 450 STEPPING PAVERS
- PRIVATE OPEN SPACE

DATE	BY	AMENDMENT
01.08.23	MS	UPDATED TO ARCHITECTURAL PLANS - P9 DATED 01.08.2023.

LANDSCAPE DESIGNER

JK's GARDEN CREATIONS
PO. BOX 168 GAN GAN RD
ANNA BAY. NSW. 2316

John A. Kime
Mob. 0412582966
email.gardenflora704@gmail.com

Member AILDM
Diploma in Horticulture /Landscape Dsn., Cert. Ag

IN ASSOCIATION WITH:

tolero
LANDSCAPE DESIGN

Mishka Sternbeck
P.O. BOX 203 RUTHERFORD NSW 2320
Mob: 0422406688
email: mishkas@optusnet.com.au
Member AILDM
Diploma in Landscape Design

SITE ADDRESS

Multi Dwelling Housing
Lot 192 & 193 DP30301
8-10 Davis Street
Mollymook. NSW.

CLIENT

BEN LANE

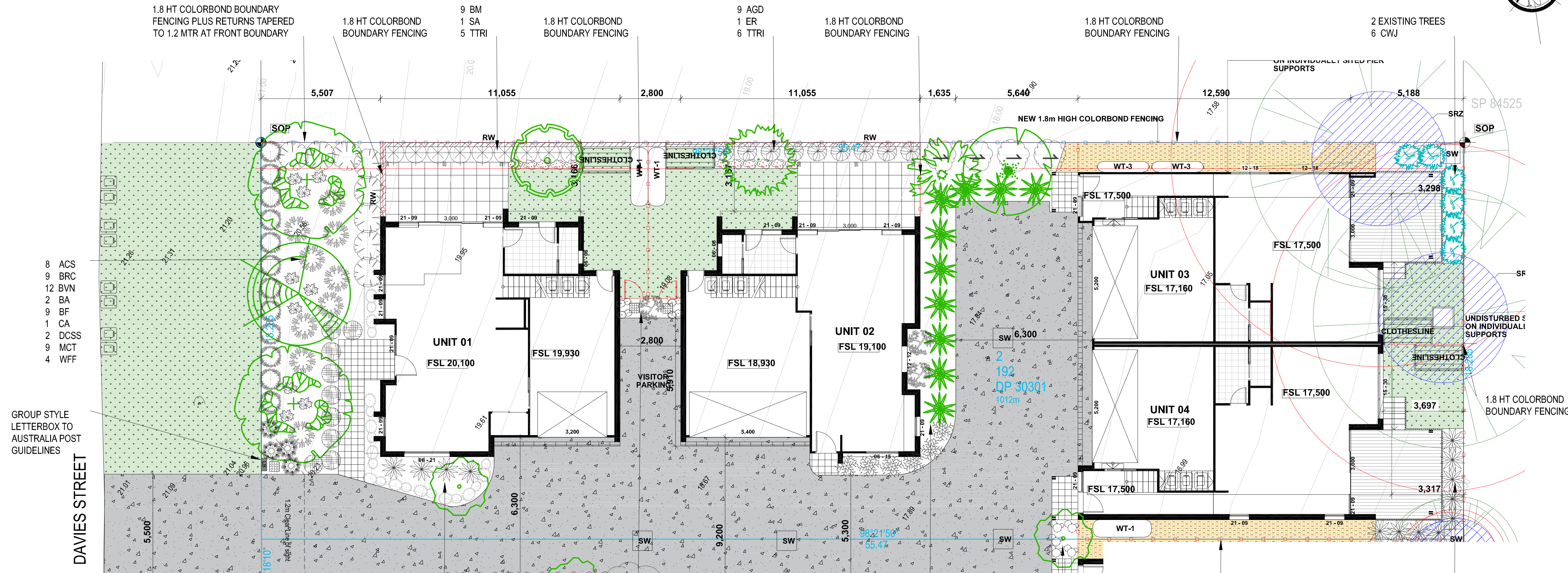
ARCHITECT

ELK designs

PO Box 601 Kotara
NSW 2289 Ph 49524425
Nominated Architect: Daniel Hadley 8209

I hereby certify that the information contained in this document is correct and true to the best of my knowledge and belief and that I am not aware of any circumstances which might render this information inaccurate or misleading. I warrant that the information contained in this document is true and correct and that I am not aware of any circumstances which might render this information inaccurate or misleading. I warrant that the information contained in this document is true and correct and that I am not aware of any circumstances which might render this information inaccurate or misleading.

DRAWN	JK	DATE	22/3/2022
SCALES	1:100 @ A1 1:200 @ A3	CHECKED	Mishka
SHEET	3 OF 5 Units 1-4 Landscape Plan	JOB No.	JFPG110322



- 8 ACS
- 9 BRC
- 12 BVN
- 2 BA
- 9 BF
- 1 CA
- 2 DCSS
- 9 MCT
- 4 WFF

GROUP STYLE LETTERBOX TO AUSTRALIA POST GUIDELINES

DAVIES STREET

- 9 DCSS
- 1 MTB
- 4 RAB

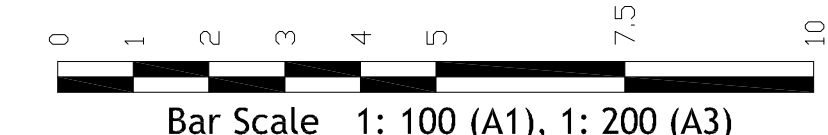
- 4 GT
- 1 RTB

- 4 CWW
- 1 ERPD
- 10 LR
- 6 PMM
- 2 RTB
- 1 TLL

- 5 DSS
- 1 MTB

- 1.8 HT COLORBOND BOUNDARY FENCING

- 9 RAB



PLANT LEGEND

TREES

- BC BACKHOUSIA CITRIODORA
- BA BRACHYCHITON ACERIFOLIUS
- CHR CALLISTEMON HANNAH RAY
- CFSR CORYMBIA FICIFOLIA 'SUMMER RED'
- CA CUPANIOPSIS ANARACIODES
- ERPD ELEOCARPUS PRIMMA DONNA
- ER ELEOCARPUS RETICULATUS
- MTB MAGNOLIA TEDDY BEAR
- SA SYZYGIIUM AUSTRALE
- TLL TRISTANIOPSIS LAURINA LUCSIOUS
- WF WATERHOUSIA FLORIBUNDA

PLANT LEGEND

GRASSES G/COVERS

- BRC BANKSIA ROLLER COASTER
- DCSS DARWINIA SEA SPRAY
- DSS DIANELLA SILVER STREAK
- GT GAZANIA TOMENTOSA
- GLC GREVILLEA LANIGERA CTVR
- MPP MYOPORUM PARV. PURPUREA
- RBL ROSMARINUS BLUE LAGOON
- TTRI TRACHELOSPERMUM TRICOLOUR
- WFF WESTRINGIA FLAT N FRUITY

PLANT LEGEND

SHRUBS

- AGD ABELIA GRANDIFLORA DWARF
- ACS ACMENA CHERRY SURPRISE
- BVN BAECKEA VIRGATA NANA
- BF BUXUS FAULKNER
- BM BUXUS MICROPHYLLA
- CGBF CALLISTEMON GREAT BALLS OF FIRE
- CRR CALLISTEMON RED ROCKET
- CWJ CALLISTEMON WEE JOHNNIE
- CWW CALLISTEMON WILDERNESS WHITE
- CR CORDYLINE RUBRA
- GLO GREVILLEA LADY O
- LA LEPTOSPERMUM APHRODITE
- LR LEPTOSPERMUM RHIANNON
- LCB LORAPETALUM BURGUNDY
- MCT MELALEUCA CLARET TOPS
- MSM MELALEUCA SEA MIST
- PMM PITTOSPORUM MISS MUFFET
- RAB RAPHIOLEPSIS APPLE BLOSSOM
- RSM RAPHIOLEPSIS SNOW MAIDEN
- RTB ROSEMARY TUSCAN BLUE

SHOALHAVEN CITY COUNCIL
Environmental Planning & Assessment Act, 1979

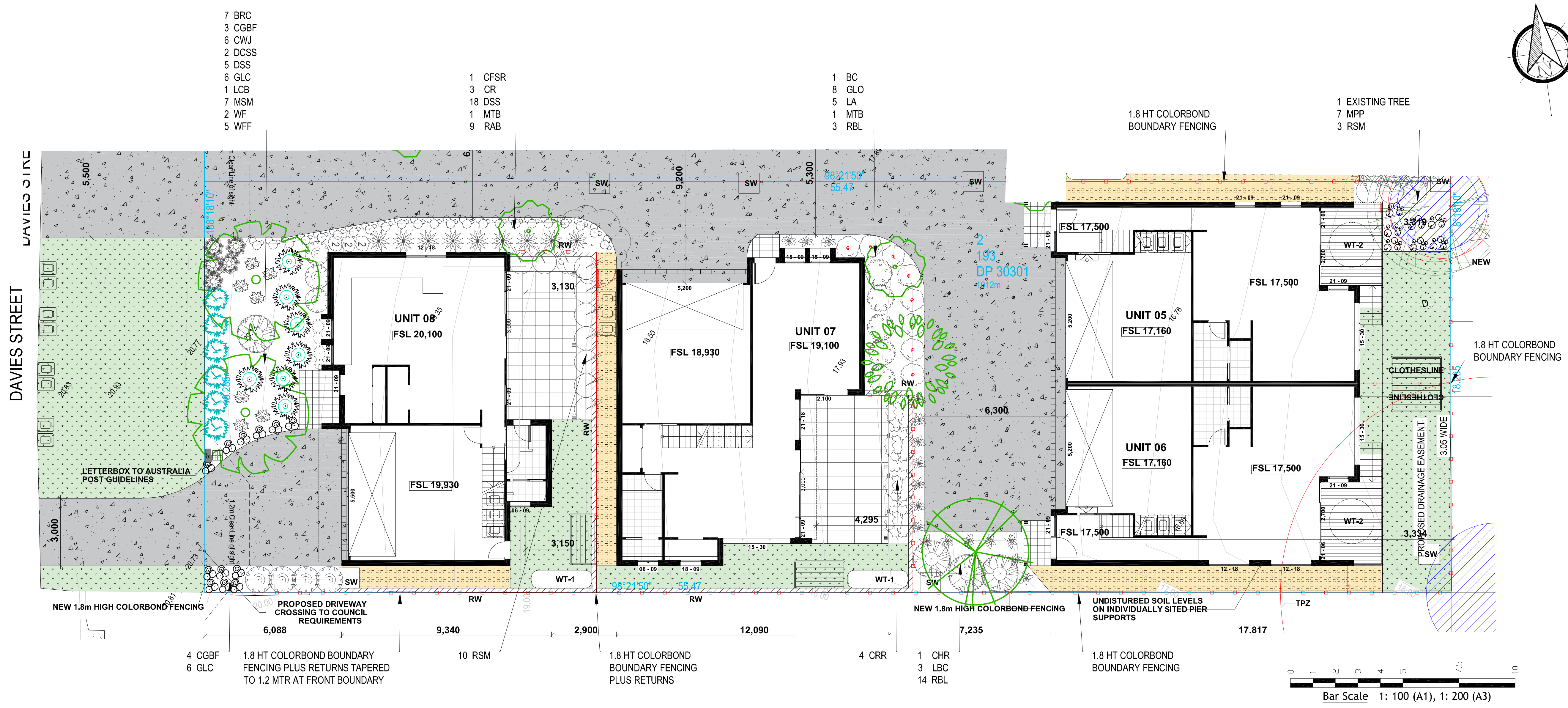
DEVELOPMENT CONSENT NO: DA22/2061 Dated: 19/09/2023

These are the plans referred to in the above Development Consent

Note: Approval of the works shown on this plan is subject to compliance with the conditions of the Development Consent.

Refer to ELK Site Coverage Plan for Landscape Calculations





DRAWING TO BE READ IN CONJUNCTION WITH THE ARCHITECTS- STORMWATER- ENGINEERS PLANS PLUS ASSOCIATED SHEETS ATTACHED

- LEGEND**
- CONCRETE PATHS & DRIVEWAY
 - TURF - REFER TO SHEET 5 FOR DETAILS
 - 100mm COMPACTED RHYOLITE TO SHADED AREAS - REFER TO SHEET 5 FOR DETAILS
 - GARBAGE BINS
 - CLOTHESLINES
 - WT-1 WATER TANKS
 - 1.8M HIGH COLOURBOND BOUNDARY FENCE AND DIVIDING FENCES PLUS RETURNS
 - 1.5M HIGH SLAT TIMBER FRONT BOUNDARY FENCE
 - EXTERNAL YARD TAP
 - LETTERBOX
 - 26.00 DENOTES DESIGN SPOT LEVELS
 - RWH DENOTES RETAINING WALL TO ENGINEERS DETAILS
 - 450 x 450 STEPPING PAVERS
 - PRIVATE OPEN SPACE

DATE	BY	AMENDMENT
01.8.23	MS	UPDATED TO ARCHITECTURAL PLANS - P9 DATED 01.08.2023.

LANDSCAPE DESIGNER
JK's GARDEN CREATIONS
PO. BOX 168 GAN GAN RD
ANNA BAY. NSW. 2316
John A. Kime
Mob. 0412582966
email.gardenflora704@gmail.com
Member AILDM
Diploma in Horticulture / Landscape Design, Cert. Ag
IN ASSOCIATION WITH:

tolero
LANDSCAPE DESIGN
Mishka Sternbeck
P.O. BOX 203 RUTHERFORD NSW 2320
Mob: 0422406688
email: mishkas@optusnet.com.au
Member AILDM
Diploma in Landscape Design

SITE ADDRESS
Multi Dwelling Housing
Lot 192 & 193 DP30301
8-10 Davis Street
Mollymook. NSW.

CLIENT
BEN LANE

ARCHITECT
ELK designs
PO Box 601 Kotara
NSW 2289 Ph: 49824425
Nominated Architect: Daniel Hadley 8209
Notes:
The information contained in this document is copyright and may not be used or copied in whole or in part without the written permission of the author. The information is provided for the purpose of the design and is not to be used for any other purpose. The information is provided for the purpose of the design and is not to be used for any other purpose. The information is provided for the purpose of the design and is not to be used for any other purpose.

DRAWN JK	DATE 22/3/2022
SCALES 1:100 @ A1 1:200 @ A3	CHECKED Mishka
SHEET 4 OF 5 Units 5-8 Landscape Plan	JOB No. JFPG110322

- PLANT LEGEND**
TREES
- BC BACKHOUSIA CITRIDORA
 - BA BRACHYCHITON ACERIFOLIUS
 - CHR CALLISTEMON HANNAH RAY
 - CFSR CORYMBIA FICIFOLIA 'SUMMER RED'
 - CA CUPANIOPSIS ANARACIODES
 - ERPD ELEOCARPUS PRIMMA DONNA
 - ER ELEOCARPUS RETICULATUS
 - MTB MAGNOLIA TEDDY BEAR
 - SA SYZYGIIUM AUSTRALE
 - TLL TRISTANIOPSIS LAURINA LUCSIOUS
 - WF WATERHOUSIA FLORIBUNDA

- PLANT LEGEND**
GRASSES G/COVERS
- BRC BANKSIA ROLLER COASTER
 - DCSS DARWINIA SEA SPRAY
 - DSS DIANELLA SILVER STREAK
 - GT GAZANIA TOMENTOSA
 - GLC GREVILLEA LANIGERA CTVR
 - MPP MYOPORUM PARV. PURPUREA
 - RBL ROSMARINUS BLUE LAGOON
 - TTRI TRACHELOSPERMUM TRICOLOUR
 - WFF WESTRINGIA FLAT N FRUITY

- PLANT LEGEND**
SHRUBS
- AGD ABELIA GRANDIFLORA DWARF
 - ACS ACMENA CHERRY SURPRISE
 - BVN BAECKEA VIRGATA NANA
 - BF BUXUS FAULKNER
 - BM BUXUS MICROPHYLLA
 - CGBF CALLISTEMON GREAT BALLS OF FIRE
 - CRR CALLISTEMON RED ROCKET
 - CWJ CALLISTEMON WEE JOHNNIE
 - CWW CALLISTEMON WILDERNESS WHITE
 - CR CORDYLINE RUBRA
 - GLO GREVILLEA LADY O
 - LA LEPTOSPERMUM APHRODITE
 - LR LEPTOSPERMUM RHIANNON
 - LCB LORAPETALUM BURGUNDY
 - MCT MELALEUCA CLARET TOPS
 - MSM MELALEUCA SEA MIST
 - PMM PITTOSPORUM MISS MUFFET
 - RAB RAPHIOLEPSIS APPLE BLOSSOM
 - RSM RAPHIOLEPSIS SNOW MAIDEN
 - RTB ROSEMARY TUSCAN BLUE

SHOALHAVEN CITY COUNCIL
Environmental Planning & Assessment Act, 1979
DEVELOPMENT CONSENT NO: DA22/2061 Dated: 19/09/2023
These are the plans referred to in the above Development Consent
Note: Approval of the works shown on this plan is subject to compliance with the conditions of the Development Consent.

Refer to ELK Site Coverage Plan for Landscape Calculations



Verify all dimensions on site prior to commencement, locate all underground services and ensure no damage occurs to them throughout the contract. Comply with the requirements of the Council site guidelines in reference to erosion and sediment control regulations and other environmental controls to contain all within confines of the site. Spray with approved herbicide weed killer to all proposed lawn and garden areas to manufactures directions. Spray all weeds before commencement of any site works are carried and throughout the contract so as to suppress any weeds that may arise. Source all plants before start of job so the time factor to purchase from species list, will be true to plant schedule. The trees and shrubs recommended may sometimes be difficult to source due to times of year, weather, disease etc, this being the case, please inform early so arrangements to substitute can be made. Excess soils and contaminated soil are to be removed within the guidelines of the council requirements to approved sites.

Cultivate to the minimum depth of 200mm in all garden areas and 100mm depth in all lawn areas; add a clay breaker to all garden areas, before the addition of garden soil is added. In all areas where fill is required, gain required levels using a premium soil mix. Where excavation is required as with clay excavate as required to allow for addition of 200-400mm depth of premium garden soil to garden areas and 100-300mm depth of topsoil to lawn areas. Undertake all required action to ensure that no root balls of proposed plants sit in clay wells and that all garden and lawn areas drain satisfactorily. It is the contractor's responsibility to ensure the end result of the project is that all lawn and garden areas drain sufficiently (both surface and subsurface), are at required finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow. Soil levels are to allow for the addition of turf and mulches to specified requirements.

EDGING: Timber edging shall be located to all planter bed edges where meeting new or existing turfed areas. Use 38x150mm treated pine edging with 50x50 pegs at 1200 centres finished 30mm below top of edging.

Purchase plants from an approved nursery that supplies plants that are true to type and species, healthy and able to store at nursery to maintain vigor before planting. Plant within 24hrs of plants being delivered. Set out plants as indicated on plan. Plant holes shall be dug approximately twice the width and 100mm deeper than the plant root balls that they are to receive. Add fertilizer, followed by 100mm of garden soil shall be placed into the base of hole and lightly consolidated. Remove plant from container install and backfill with garden soil and firmed into place. Base of stem shall finish flush with finished soil level. Thoroughly water all plants on first planting to soak soil of plant and surrounding soil so as to allow roots to adjust, do not allow drying out. Water regular over the first 3-4 weeks.

Install 100mm minimum of Forest mulch as a mulch over all gardens. Shaded areas mulch with 10-25mm pebble mulch with weedmat under.

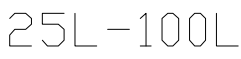
Erection of masonry block retaining walls treated timber retaining walls to be as per retaining wall specification guidelines . All retaining walls and footings to remain within the confines of boundary.

Prepare for, level and lay cultivated Buffalo turf to all areas nominated on the plan as being lawn. To be laid within 24 hrs of delivery on site, making sure all areas are level for drainage, garden edging and paths.

Prior to practical completion removal from site all unwanted debris occurring from work. Satisfy council that all landscaping work has been undertaken in strict accordance with council's landscape codes and guide lines.

Carry out the following during the maintenance period(determined by Builder). These works shall include but not limited to watering, weeding, fertilizing, pest and disease control, returfing, staking and tying, replanting, cultivation, pruning, aerating, renovation, top dressing and the like.

The existing trees to be retained on site are to be protected by surrounding with a 1.8m high chainmesh fence 3.00m from the base of the tree. This fence is to be erected prior to works commencing on site and is to be retained until all building works are completed. The enclosed area is to remain free of materials, machinery, vehicles or site sheds. With this preparation is to protect the existing tree and its critical roots from mechanical damage, compaction or any other adverse impacts resulting from construction activity and allowing the trees to grow the optimum growth once all works have been finalized.



PLANT SCHEDULE				Pot Size	Mature Size	Native /
TREES, SHRUBS, GRASSES & GROUNDCOVERS				mm/ltr	W x H mtrs	Exotic
ID	Botanical Name	Common Name	Qty			
AGD	Abelia grandiflora dwarf	Glossy abelia	9	200mm	1.2x1.2m	E
ACS	Acmena smithii 'Cherry Surprise'	Red tipped lilly pilly	8	200mm	2 x 2.5m	N
BC	Backhousia citriodora	Lemon Myrtle	1	25ltr	3 x 11m	N
BVN	Baeckea virgata 'Nana'	Miniature Beackea	12	200mm	1.2x1.2m	N
BRC	Banksia integrifolia 'Roller Coaster'	Banksia	16	200mm	G/cover	N
BA	Brachychiton acerifolius	Illawarra Flame Tree	2	25ltr	10 x 15m	N
BF	Buxus faulkner	Korean box	9	200mm	1.2x1.2m	E
BM	Buxus microphylla	Japanese box	9	200mm	1 x 1m	E
CGBF	Callistemon 'Great Balls of Fire'	Red bottlebrush	3	200mm	1.2x1.2m	N
CHR	Callistemon 'Hannah Ray'	Weeping red bottlebrush	1	25ltr	8 x 8m	N
CRR	Callistemon 'Red Rocket'	Bottlebrush	4	200mm	1.2 x 1.2m	N
CWJ	Callistemon 'Wee Johnnie'	Dwarf red bottlebrush	12	200mm	1 x 1.2m	N
CWW	Callistemon 'Wilderness White'	Weeping White bottlebrush	4	200mm	2 x 2.5m	N
CR	Cordyline fruticosa 'Rubra'	Red Palm Lily	3	200mm	1 x 2m	N
CFSR	Corymbia ficifolia 'summer red'	Grafted red flowering gum	1	25ltr	6 x 8m	N
CA	Cupaniopsis anacardioides	Tuckeroo	1	25ltr	8 x 8m	N
DCSS	Darwinia citriodora 'Seaspray'	Darwinia	13	200mm	G/cover	N
DSS	Dianella silver streak	Variegated flax lilly	28	200mm	.7x.7m	N
ERPD	Elaeocarpus reticulatus 'Prima Donna'	Blue berry ash	1	25ltr	3 x 4.5m	N
ER	Eleocarpus reticulatus	Blue berry ash	1	25ltr	5 x 9m	N
GT	Gazania tomentosa		4	200mm	1.5.X .3m	E
GLO	Grevillea 'Lady O'	Grevillea	8	200mm	2 x 1m	N
GLC	Grevillea lanigera cultivar	Woolly Grevillea	12	200mm	G/cover	N
LA	Leptospermum 'Aphrodite'	Tea tree	5	200mm	1.5x2m	N
LR	Leptospermum 'Rhianon'	Tea tree	10	200mm	1 x 1.5m	N
LCB	Loropetalum chinensis Burgundy	Pink witchhazel	4	200mm	2 x 2m	N
MTB	Magnolia grandiflora 'Teddy Bear'	Dwarf bullbay	4	25ltr	2 x 3m	E
MSM	Melaleuca incana 'Sea Mist'	Honey Myrtle	7	200mm	1.5x1.2m	N
MCT	Melaleuca 'Claret Tops'	Dwarf red tipped snow in summer	9	200mm	1.5x1.5m	N
MPP	Myoporum parvifolium purpurea	Creeping boobialla	7	200mm	G/cover	N
PMM	Pittosporum miss miffet	Dwarf Japanese mock orange	6	200mm	1.2x1.2m	E
RAB	Raphiolepis 'Apple Blossom'		22	200mm	1 x 1m	E
RSM	Raphiolepis snow maiden		13	200mm	1.5 x 1.5m	E
RBL	Rosmarinus blue lagoon	Dwarf rosemary	17	200mm	1 x .7m	E
RTB	Rosmarinus tuscan blue	Rosemary	3	200mm	1.5x1.5m	E
SA	Syzygium australe	Bush cherry	1	25ltr	5 x 9m	N
TTRI	Trachelospermum tricolour	Dwarf star jasmine	11	200mm	G/cover, Clbr	E
TLL	Tristaniopsis laurina 'Luscious'	Water gum	1	25ltr	5 x 9m	N
WF	Waterhousea floribunda	Weeping lilly pilly	2	25ltr	8 x 8m	N
WFF	Westringia Flat n Fruity	Dwarf coastal rosemary	9	200mm	G/cover	N

N = NATIVE E = EXOTIC

ALL HEIGHTS ARE AVERAGE DEPENDENT ON SOIL, CLIMATE, MAINTENANCE, ETC.